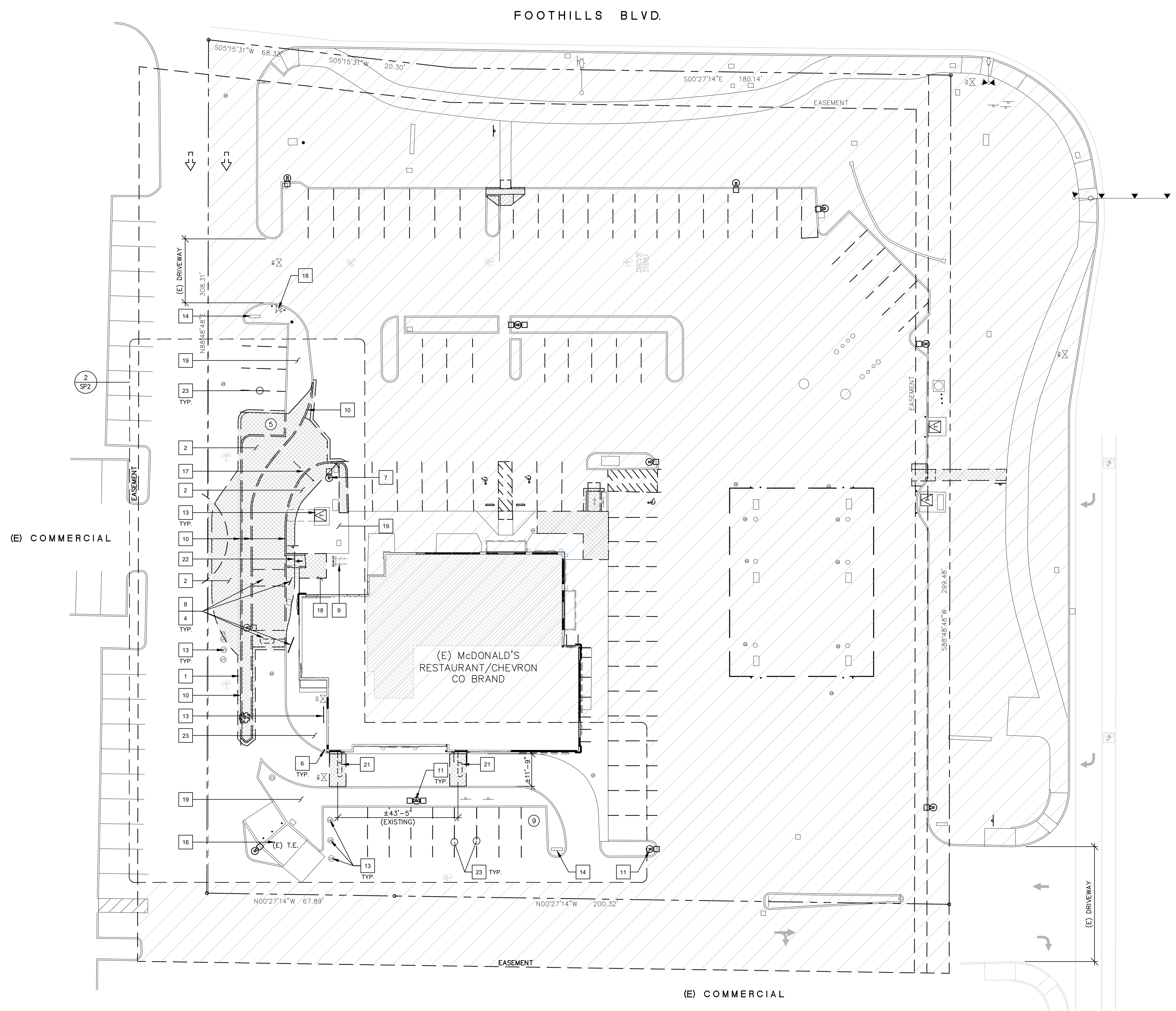




WORK APPROVED  
UNDER APPLICATION  
NUMBER: \_\_\_\_\_



KEYNOTES

MARK	DESCRIPTION
1	(E) ASPHALT PAVING TO BE REMOVED
2	PORTION OF (E) LANDSCAPING TO BE REMOVED TO ACCOMMODATE (N) CONSTRUCTION
3	(E) CONCRETE CURB AND RAMP TO BE REMODELED, SEE CIVIL DWGS.
4	(E) MENU BOARD, COD, PRE-SELL & PULL FORWARD TO BE REMOVED.
5	(E) VEHICLE DETECTOR LOOP TO BE REMOVED
6	(E) BOLLARD TO REMAIN. REPLACE & REINSTALL AS NEEDED.
7	(E) YARDLIGHT TO BE REMOVED
8	PORTION OF (E) CONCRETE PAVING TO BE REMOVED FOR (N) DRIVE-THRU LAYOUT AND (N) VEHICLE DETECTOR LOOP (TYP.)
9	(E) BIKE RACK TO REMAIN
10	(E) CONCRETE CURB TO BE REMOVED.
11	(E) YARD LIGHT TO REMAIN (TYP.)
12	(E) SIGNAGE TO BE REPLACED BY OTHERS (TYP.)
13	(E) TRANSFORMER, GAS SERVICE, SEWER ETC. TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION.
14	(E) DRIVE-THRU DIRECTIONAL SIGN TO REMAIN
15	(E) CONCRETE PAVING TO BE REMOVED
16	(E) TRASH ENCLOSURE TO REMAIN (TYP.)
17	(E) CLEARANCE BAR TO BE REMOVED
18	(E) FIRE HYDRANT TO REMAIN.
19	(E) LANDSCAPING TO REMAIN. REFRESH AS NEEDED.
20	(E) CONCRETE PAVING TO REMAIN
21	PORTION OF (E) CONCRETE PAVING TO BE REMOVED FOR (N) DETECTOR LOOP
22	(E) CURB CUT RAMP TO BE REMOVED
23	(E) PARKING STALLS TO BE REPAINTED (TYP.)
24	(E) PAVEMENT ARROWS TO BE REMOVED.

GENERAL NOTES

- CONTRACTOR TO VERIFY WITH OWNER/OPERATOR REGARDING THE SALVAGING OF ANY ITEMS TO BE REMOVED.
- CONTRACTOR TO REFER TO CITY / COUNTY PROCEDURES FOR THE REMOVAL OF EXISTING TREES IF REQUIRED.
- CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING LANDSCAPING AS DIRECTED, INCLUDING (BUT NOT LIMITED TO) ALL PLANTING, TREES (UNLESS DESIGNATED FOR SALVAGE), IRRIGATION LINES, VALVES, DRIP IRRIGATION, SPRINKLER HEADS AND ALL ASSOCIATED EQUIPMENT. SEE LANDSCAPE DRAWINGS FOR REFERENCE.
- CONTRACTOR SHALL COMPLETELY REMOVE EXISTING SIGNAGE (INCLUDING DIRECTIONAL SIGNAGE), SIGHT LIGHTING INCLUDING ALL FOOTINGS, ELECTRICAL WIRING AND CONDUITS AND ASSOCIATED EQUIPMENT.
- CONTRACTOR SHALL DISPOSE OF ALL WASTE ITEMS, AND ITEMS TO BE RECYCLED IN ACCORDANCE WITH AND ANY APPLICABLE CITY & COUNTY CODES AND OR AMENDMENTS.
- G.C. TO PROTECT (E) UTILITY LINES DURING DEMOLITION AND CONSTRUCTION OF PROJECT. REPORT AND DISCREPANCIES TO THE ATTENTION OF ARCHITECT AND/OR McDONALD'S REPRESENTATIVE.

PARKING INFORMATION (EXISTING)

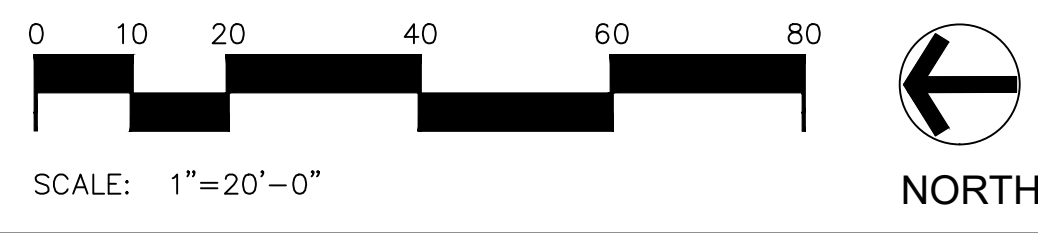
TOTAL SPACES	ACCESSIBLE	STANDARD	COMPACT	SPACES	9' X 18' & 19' @ 90°	9' X 18' & 19' @ 90°	8' X 16' @ 90°
72	3	64	5				

PLAN LEGEND

CL	= CENTER LINE	P.O.C.	= POINT OF CURVATURE
COL	= COLUMN	R	= RADIUS
(E)	= EXISTING	R.O.W.	= RIGHT OF WAY
EQ	= EQUAL	SHT.	= SHEET
F.O.C.	= FACE OF CURB	SIM.	= SIMILAR
F.O.S.	= FACE OF STUD	TYP.	= TYPICAL
F.O.F.	= FACE OF FOUNDATION	FSE	= FINISH SLAB ELEVATION
(N)	= NEW		

---	PROPERTY LINE
---	(E) TO REMAIN
---	TO BE REMOVED
▨	(E) PAVEMENT TO BE REMOVED
▨	NOT IN CONSTRUCTION (N.I.C.)



1 DEMOLITION SITE PLAN  
SPO 1" = 20'-0"

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA. 95404

STATE OF CALIFORNIA  
KENNETH MCCrackEN  
C-32095  
Renewed: 6/30/21  
LICENSED ARCHITECT  
03/05/20

Seal KJM/1912

PREPARED FOR: **McDonald's USA, LLC**  
McDonald's USA, LLC  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. These drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

DRAWN BY: \_\_\_\_\_  
STD ISSUE DATE: \_\_\_\_\_  
REVIEWED BY: Hill  
DATE ISSUED: 03/04/20

TITLE: McDonald's # 25139  
ROSEY-BLUEOAKS/FOOTHILL  
DESCRIPTION: 2018 B520 - E01F  
SITE ID: \_\_\_\_\_  
SITE ADDRESS: 1400 BLUE OAKS BLVD. ROSEVILLE, CA. 95747

004-3621

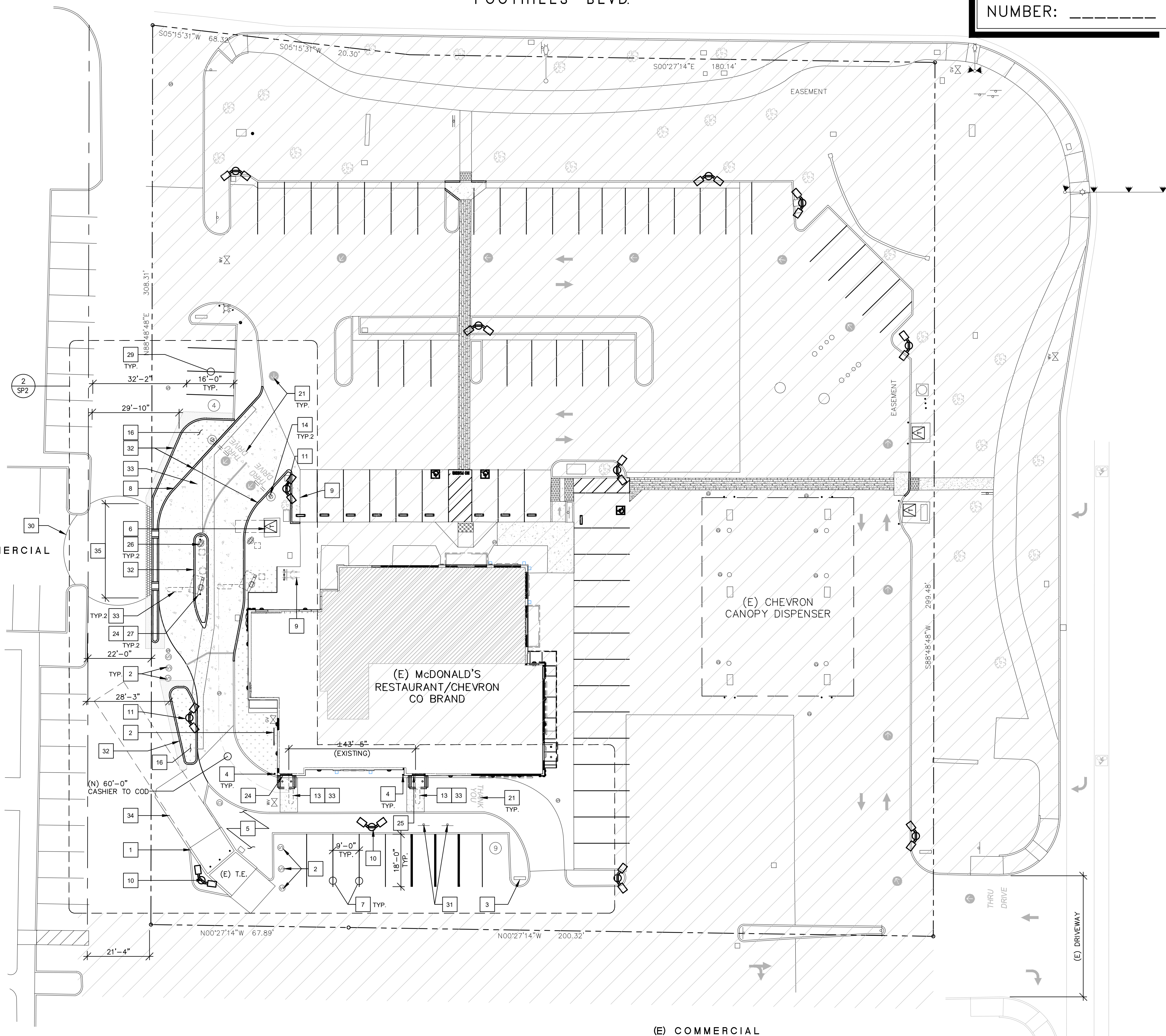
**SPO**  
DEMOLITION SITE PLAN

MCD18243.0 - ISSUED FOR PLANNING

M:\MCDONALD'S - MCD 2018MCD18243.0\MPR ROSEY/BLUE OAKS-DRAWINGS CURRENT\ARCHITECTURAL\18243-PLANNING\SSS - PLANNING SET\00\_18243.0\_SPO.DWG 3/3/2020 11:41 AM CEDRIC BROOKS

M:\MCDONALD'S\_MCD 2018\MCD18243.0 MRP ROSEY BLUE 001-DRAWINGS CURRENT\ARCHITECTURAL\2-PLANNING\SSB - PLANNING SET\00 - 18243.0\_SPT DWG 3/20/20 11:41 AM CEDRIC BROOKS

(E) COMMERCIAL



**WORK APPROVED UNDER APPLICATION NUMBER: \_\_\_\_\_**

KEYNOTES		
MARK	DESCRIPTION	DETAIL
1	(E) TRASH ENCLOSURE TO REMAIN. PAINT TO MATCH BUILDING MAIN COLOR.	-
2	(E) UTILITIES TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.	-
3	(E) MCD DRIVE-THRU DIRECTIONAL / INFORMATIONAL SIGN TO REMAIN.	-
4	(E) BOLLARD TO REMAIN. PAINT SAFETY YELLOW (TYP.)	12/SD1
5	(E) LANDSCAPE TO REMAIN. REFRESH AS NEEDED TO MATCH (E).	-
6	(E) TRANSFORMER TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.	-
7	RESTRIPE PARKING STALLS PER CITY STANDARD (TYP.)	-
8	(N) ASPHALT OVERLAY	-
9	(E) BIKE RACK	-
10	(E) YARD LIGHT w/ (N) LIGHT FIXTURES (TYP.)	E0.1
11	(N) YARD LIGHT	E0.1
12	(E) CONCRETE PAVEMENT TO REMAIN.	-
13	(E) VEHICLE DETECTOR LOOP TO REMAIN.	-
14	(N) VEHICLE CLEARANCE BAR. UNDER SEPARATE PERMIT. SEE SIGN PACKAGE.	-
15	(N) CONCRETE FILLED BOLLARD (TYP.)	12/SD1
16	(N) LANDSCAPING	-
17	5'-0" x 5'-0" CLEAR LEVEL LANDING/ 2% MAXIMUM CROSS SLOPE IN ANY DIRECTION. (TYP.)	CIVIL AS SHEETS
18	(E) ACCESSIBLE ROUTE OF CONCRETE PAVERS TO REMAIN. WALK TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL. 2% CROSS SLOPE.	-
19	(N) CONCRETE OVERLAY	CIVIL
20	(N) STREET GRAPHICS TO BE APPLIED AS SHOWN	2&3/SD1
21	(N) D/T GRAPHICS TO BE APPLIED AS SHOWN (TYP.)	8/SD1 CIVIL
22	(N) ACCESSIBLE CONC. CURB CUT RAMP.	7/C3 CIVIL
23	(N) DETECTABLE WARNING SURFACE. (TYP.)	18/AS1
24	(N) FORREST PERMA INFORMATIONAL SIGN #777 AT ORDER STATION.	7/CVR2
25	(N) FORREST PERMA INFORMATIONAL SIGN #778 AT PRESENTER WINDOWS.	8/CVR2
26	(N) DIGITAL PRE-BROWSE BOARD. UNDER SEPARATE PERMIT BY OTHERS.	OMDBT & 2 STRUCTURAL
27	(N) DIGITAL MENU BOARD INTEGRATED w/ SPEAKER. UNDER SEPARATE PERMIT BY OTHERS.	OMDBT & 2 STRUCTURAL
28	(N) CONCRETE SIDEWALK. WALK TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE.	CIVIL
29	PATCH AND REPAIR (E) ASPHALT AS NEEDED SLURRY SEAL PARKING LOT AND RE-PAINT PARKING STALLS AND PAVEMENT BRANDING. (TYP.) COORDINATE EXTEND WITH MCD.	-
30	(E) STAMPED CONCRETE	-
31	(N) PULL FORWARD SIGN (TYP.). UNDER SEPARATE PERMIT BY OTHERS	-
32	(N) CONCRETE CURB.	CIVIL
33	(N) CONCRETE PAVING & VEHICLE DETECTOR LOOP (TYP.)	CIVIL ELEC
34	(E) 60' BACKUP SPACE FOR TRASH ENCLOSURE	-
35	(N) HEAVY DUTY CONCRETE PAVERS, FINISH AND COLOR TO MATCH EXISTING.	CIVIL
36	(N) CONCRETE VALLEY GUTTER	CIVIL

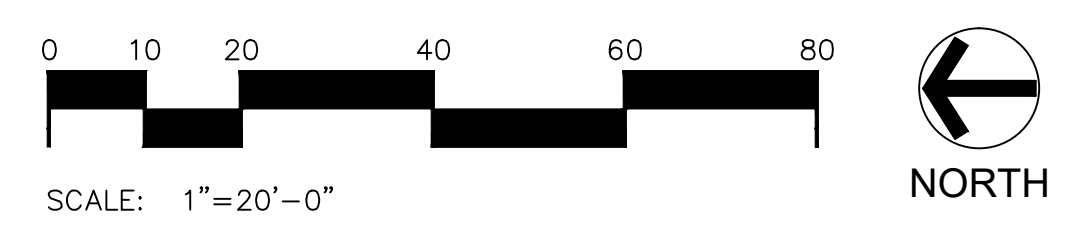
SITE DATA	
EXISTING USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
ZONING:	CC COMMERCIAL
SITE AREA:	80,849 S.F. (1.86 AC)
EXISTING OVERALL BUILDING AREA:	± 6,243 S.F.
PARKING REQUIRED:	1 STALL FOR EACH 100 SF OF GROSS FLOOR AREA EXISTING 63 STALLS TO REMAIN (NO CHANGE)

ASSESSOR'S PARCEL NUMBER: 017-250-052

PARKING INFORMATION (PROPOSED)			
TOTAL SPACES	ACCESSIBLE	STANDARD	COMPACT
71	3 SPACES 9' X 18' & 19' @ 90°	64 SPACES 9' X 18' & 19' @ 90°	4 SPACES 8' X 16' @ 90°

PLAN LEGEND			
	= CENTER LINE		= POINT OF CURVATURE
	= EXISTING COLUMN		= RADIUS
	= EQUAL		= RIGHT OF WAY
	= FACE OF CURB		= SHEET
	= FACE OF STUD		= SIMILAR
	= TYPICAL		= FINISH SLAB ELEVATION
	= FACE OF FOUNDATION		
	= NEW		
	..... (E) CONCRETE CURB		
	..... PROPERTY LINE		
	..... EASEMENT		
	..... ACCESSIBLE PATH OF TRAVEL		
	..... (N) CONCRETE CURB		
	..... (N) CONCRETE PAVING		
	..... (N) SIDEWALK / WALKWAY		
	..... (N) ASPHALT PAVING		
	..... (N) PAVEMENT ARROWS (PAINTED WHITE)		
	..... (N) DRIVE THRU STRIPING (PAINTED YELLOW)		

- GENERAL NOTES**
- SURFACE OF RAMP AND FLARES SHALL BE SLIP RESISTANT AND CONTRASTING FINISH FROM SIDEWALK.
  - RAMP SHALL LIE IN SINGLE SLOPE PLANE W/ MIN. SURFACE WARPING AND CROSS SLOPE.
  - RAMP LANDING SHALL HAVE A CROSS SLOPE OF 2% MAX. IN ALL DIRECTIONS.
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING STALLS & ACCESSIBLE AISLE TO BE 2% IN ANY DIRECTION.
  - ALL PARKING LOT IMPROVEMENTS SHALL MATCH SURROUNDING EXISTING GRADES.
  - FOR ADDITIONAL INFORMATION REGARDING DRAINAGE & GRADING, CONCRETE CURB, SIDEWALKS & GUTTER DETAILS, SEE CIVIL DRAWINGS.



1 SITE PLAN  
SP1 1" = 20'-0"

REV	DATE	DESCRIPTION	BY	HI
03/04/20		REVISED PER PLANNING		

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA, 95404

Kenneth McCRACKEN  
C-32095  
03/05/20

McDonald's USA, LLC

These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents were prepared without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not to be used for any other project. These drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

McDonald's # 25139  
ROSEY-BLUEOAKS/FOOTHILL

2018 BB20 - EOF

DATE ISSUED: 03/04/20

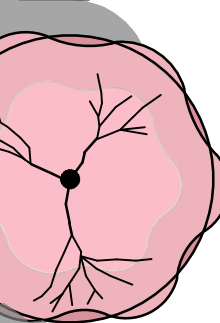
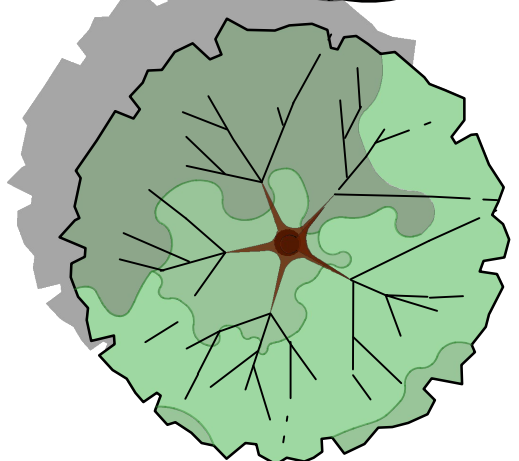
SITE ADDRESS: 1400 BLUE OAKS BLVD., ROSEVILLE, CA 95747

SP1  
SITE PLAN




MCD18243.0 - ISSUED FOR PLANNING



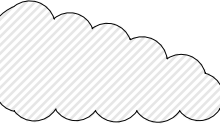
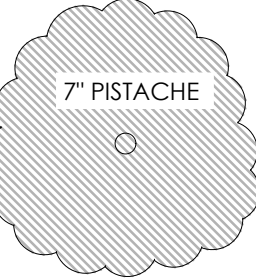
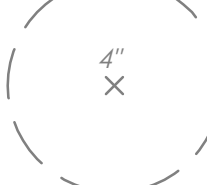
PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
		Lagerstroemia indica 'Red Rocket' / Cape Myrtle	24" box	Low
	3	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	Moderate

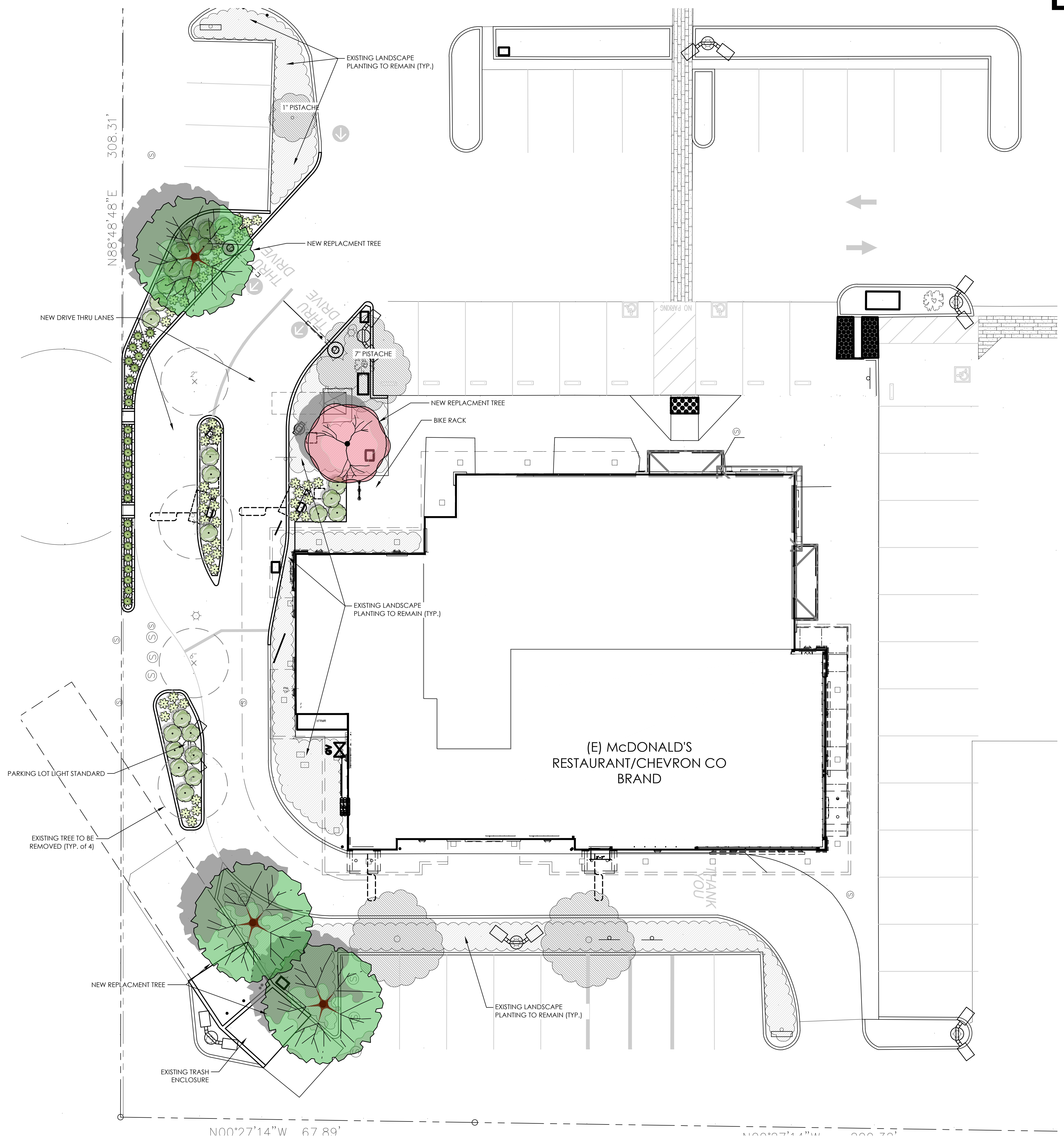
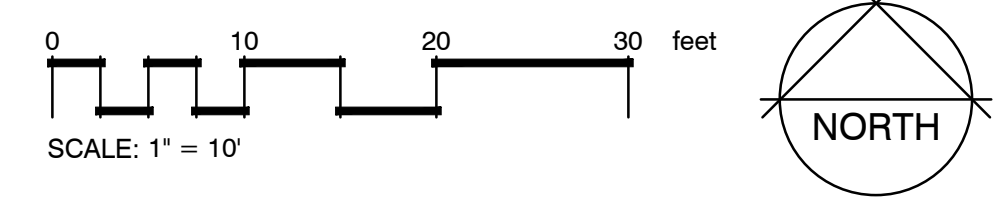
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
	26	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	5 gal	Low
	25	Dietes x 'Lemon Drop' / Fortnight Lily	1 gal	Low
	51	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	Low

	EXISTING SHRUBS TO REMAIN			
	EXISTING TREE TO REMAIN			
	EXISTING TREE TO BE REMOVED (4 LOCATIONS)			

GENERAL NOTES

- All existing trees and shrubs (to remain) shall be protected in place during construction.
- Proposed Landscape area equals 554 sf
- All new landscape areas with new plant material shall receive a minimum 3" layer of organic wood chip mulch.
- Existing irrigation shall remain in place and shall be modified, repaired or upgraded (as necessary) in order to efficiently provide irrigation to new and existing plant material. Irrigation to new plant material shall conform to City of Roseville water conservation standards.



REV	DATE	DESCRIPTION
1	03/04/20	REVISED PER PLANNING

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA, 95404

ROD SCACCALOSI  
LANDSCAPE ARCHITECT  
PO Box 2083  
Petaluma CA 94952  
707-380-8990  
OliveStreetLandscape.com  
rod@olivestreetlandscape.com

Seal

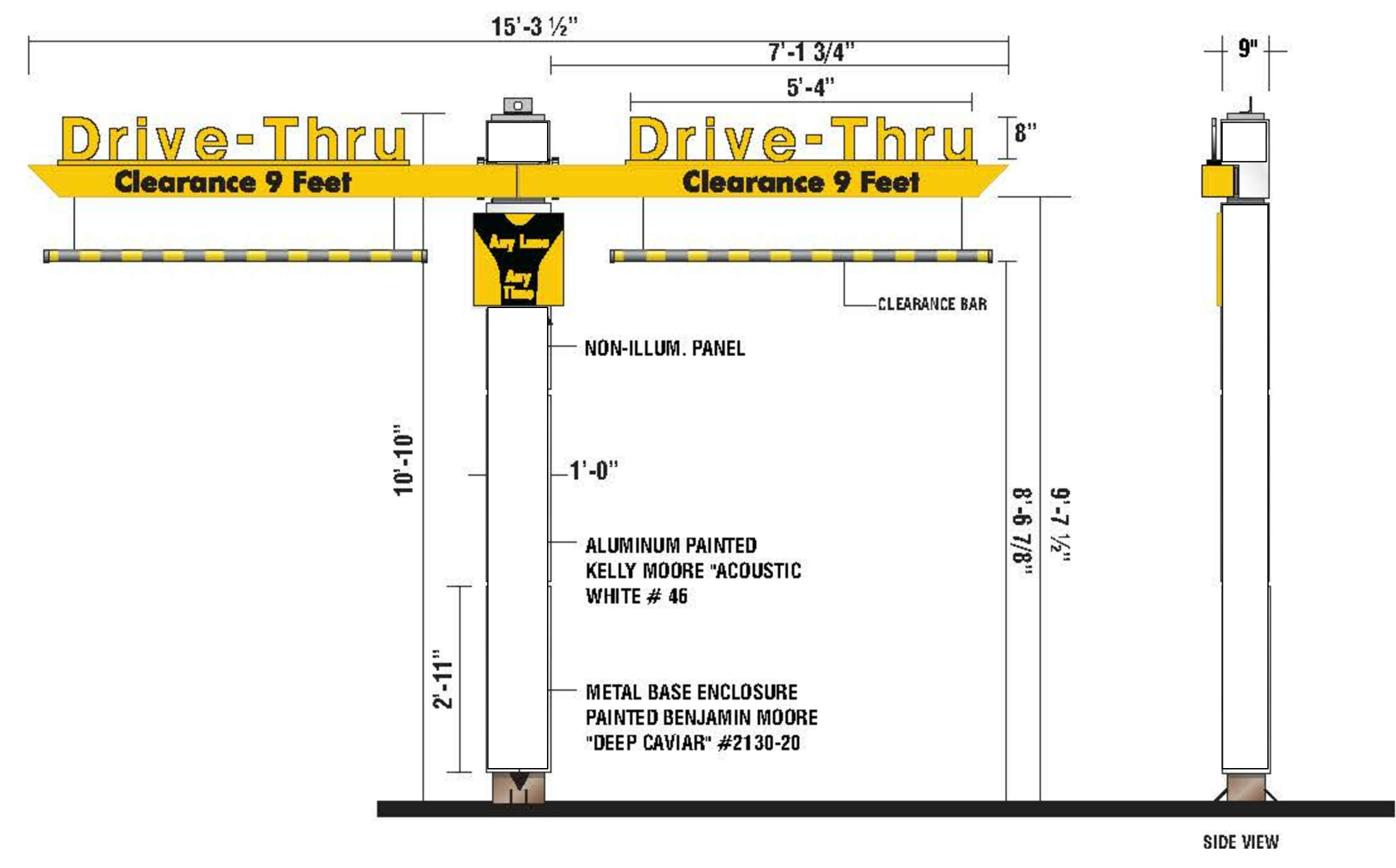
© 2020 McDonald's USA, LLC  
**McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. The contractor shall not be liable for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

TITLE	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE ASSED
McDonald's # 25139 ROSEY-BLUEOAKS/FOOTHILL DESCRIPTION 2018 BR20 - EDIT			Hill	03/04/20

SITE ADDRESS: 1400 BLUE OAKS BLVD, ROSEVILLE, CA 95747

MCD18243.0 - ISSUED FOR PLANNING

C:\USERS\SCACALOSI\BUSINESS\PROJECTS\PM DESIGN GROUP\MCDONALDS\ROSEVILLE-BLUE OAKS\DWG\1 PRELIM LANDSCAPE PLANNING 3.20.20 11:25 AM ROD SCACCALOSI



**GENERAL NOTES**

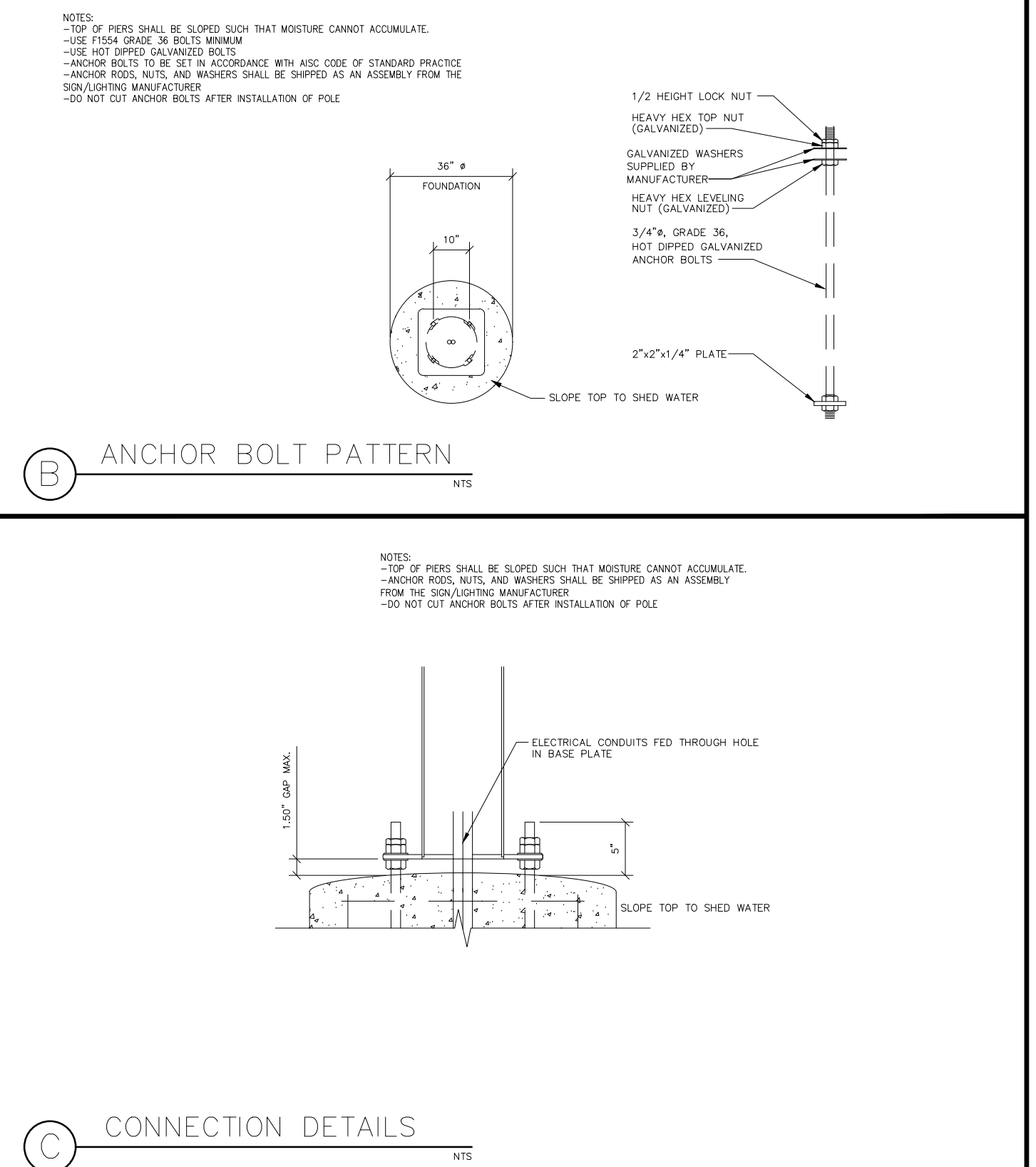
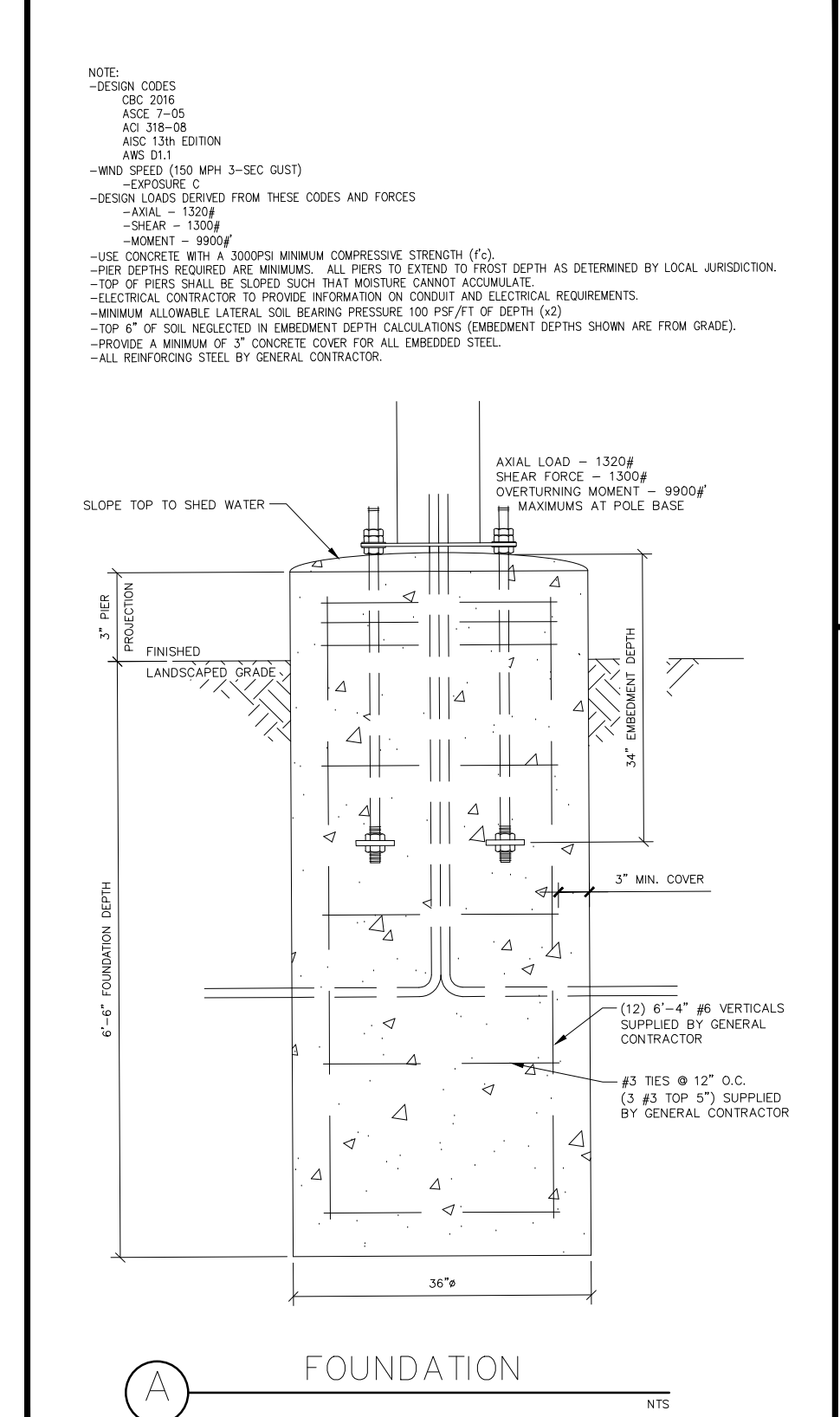
- THE FOLLOWING CODES WERE USED IN DESIGN:
  - CBC 2016
  - ASCE 7-05
  - ACI 318-08
  - ASCE 13th EDITION
  - AWS D1.1
  - WIND SPEED (150 MPH 3-SEC GUST)
  - EXPOSURE C
  - DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
    - AXIAL - 1320#
    - SHEAR - 1300#
    - MOMENT - 9900#
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

**CONCRETE**

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PRACTICE) UNLESS NOTED OTHERWISE
- ALL PIPES TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
- MINIMUM CONCRETE STRENGTH (FC) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASCE CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E

**STEEL**

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 48ksi)
- CONNECTION BOLTS A325
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
- NUTS: A563H OR A194-2H
- WASHERS: F458
- USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BOND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS



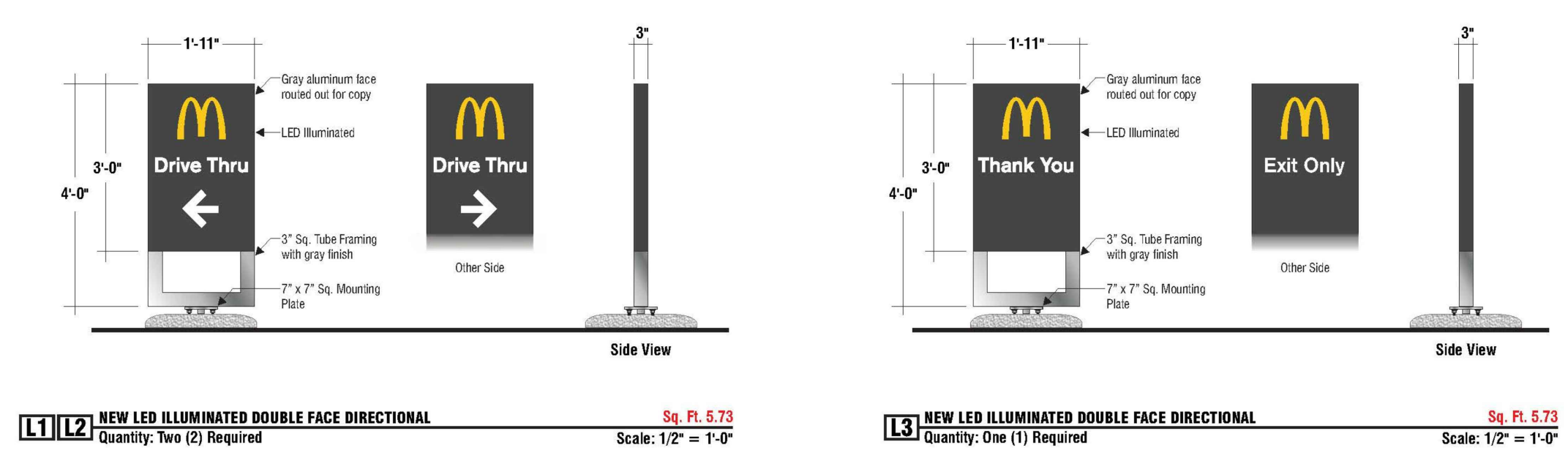
REV	DATE	DESCRIPTION
1	03/04/20	REVISED PER PLANNING

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA, 95404

STATE OF CALIFORNIA  
KENNETH MCCRACKEN  
C-32095  
Renewed: 6/20/21  
LICENSED ARCHITECT  
03/05/20  
Seal KJM/1912

18 DRIVE-THRU GATEWAY (SINGLE)  
SD2 NOT TO SCALE



**Note to All Contractors**

**120 Sign Voltage**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.

20 DOUBLE FACE DIRECTIONAL SIGN  
SD2 NOT TO SCALE

PREPARED FOR: **McDonald's USA, LLC**

**McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. These drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

McDONALD'S # 25139  
ROSEY-BLUEOAKS/FOOTHILL  
DESCRIPTION: 2018 BBD - E01F  
DATE ISSUED: 03/04/20

SITE ADDRESS: 1400 BLUE OAKS BLVD. ROSEVILLE, CA 95747

SD2 GATEWAY DETAILS

M:\MCDONALDS\JCD 2018\BDD\0243.0.HRP ROSEY BLUE OAK DRAWINGS CURRENT\ARCHITECTURAL\02-PLANNING\SSS - PLANNING SET\01 - 18243.0\_SD2 GATEWAY DETAILS.DWG 3/3/2020 11:42 AM GEDRIC BROOKS

MCD18243.0 - ISSUED FOR PLANNING



THE LAYOUT OF THE DRIVE-THRU LANES SHOWN IN THIS DETAIL ILLUSTRATES DRIVE-THRU DESIGN PRINCIPLES.

**GENERAL NOTES:**

1. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
2. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
3. THE PLACEMENT OF THE CANOPY AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
4. THIS SIDE BY SIDE DRIVE-THRU STANDARD IS BASED ON THE PROTOTYPICAL MCDONALD'S 4597 BUILDING.
5. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALD'S APPROVED SUPPLIERS.

**SIDE BY SIDE DRIVE-THRU STANDARD E**

**1. SIDE BY SIDE DRIVE-THRU STANDARD E CURBING DETAILS:**

- 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
- 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB.
- 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- 1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE CANOPY ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
- 1E THE ISLAND WIDTH SHOULD BE 6'-0" AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB).
- 1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".
- 1G ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.

**2. SIDE BY SIDE DRIVE-THRU STANDARD E PAVEMENT MARKINGS:**

- 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
- 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
- 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH CANOPY SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
- 2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
- 2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.

**3. SIDE BY SIDE DRIVE-THRU STANDARD E EQUIPMENT POSITIONING FOR PRIMARY LANE:**

- 3A MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE CANOPY FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100' AND 120') TO A MAX. OF 120'. 100'-0" IS OPTIMAL.
- 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD NOT LESS THAN 12" FROM FACE OF CURB.
- 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' TO 35' ANGLE (35' PREFERRED) FROM A VEHICLE POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY.

**3. SIDE BY SIDE DRIVE-THRU STANDARD E EQUIPMENT POSITIONING FOR PRIMARY LANE: CONTINUE**

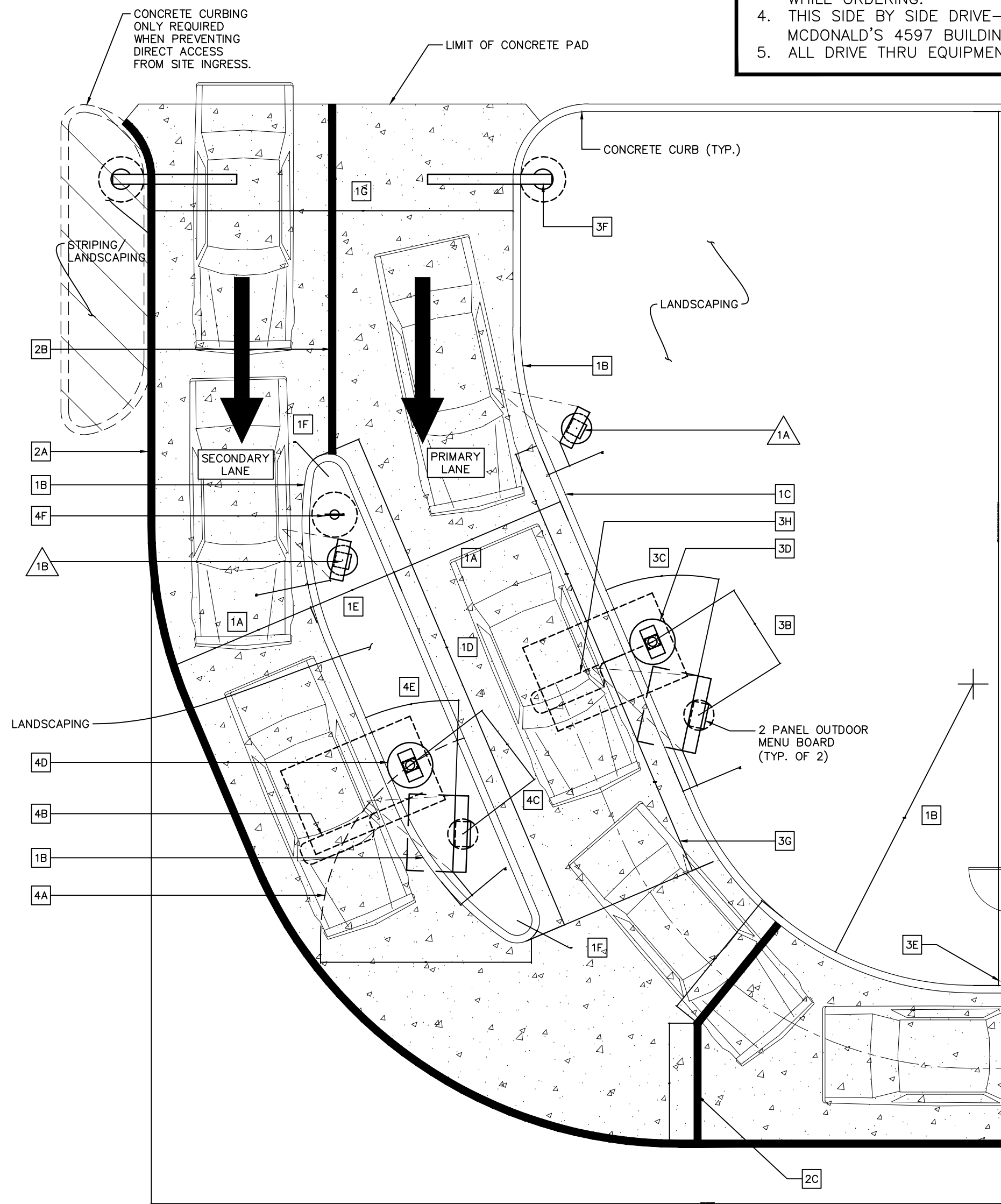
- 3D AUGER "MCDONALD'S ORDER HERE CANOPY" CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
- 3F AUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY CANOPY MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.
- 3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY CANOPY.

**4. SIDE BY SIDE DRIVE-THRU STANDARD E EQUIPMENT POSITIONING FOR SECONDARY LANE:**

- 4A TO POSITION THE SECONDARY CANOPY, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY CANOPY.
- 4B WHEN THE SECONDARY CANOPY IS LOCATED 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE CANOPY CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY CANOPY WHEN POSSIBLE.
- 4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 12" FROM FACE OF CURB.
- 4D AUGER "MCDONALD'S ORDER HERE CANOPY" CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- 4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' FROM A VEHICLE POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY.
- 4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90' FROM THE CURB.

**5. SIDE BY SIDE DRIVE-THRU STANDARD E DETECTOR LOOP:**

- 5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS.



**1 DRIVE THRU LAYOUT GUIDELINES**

ODMB2 1" = 10'-0"

FOR REFERENCE ONLY

**SIDE BY SIDE DRIVE-THRU STANDARD 10 FEATURES:**

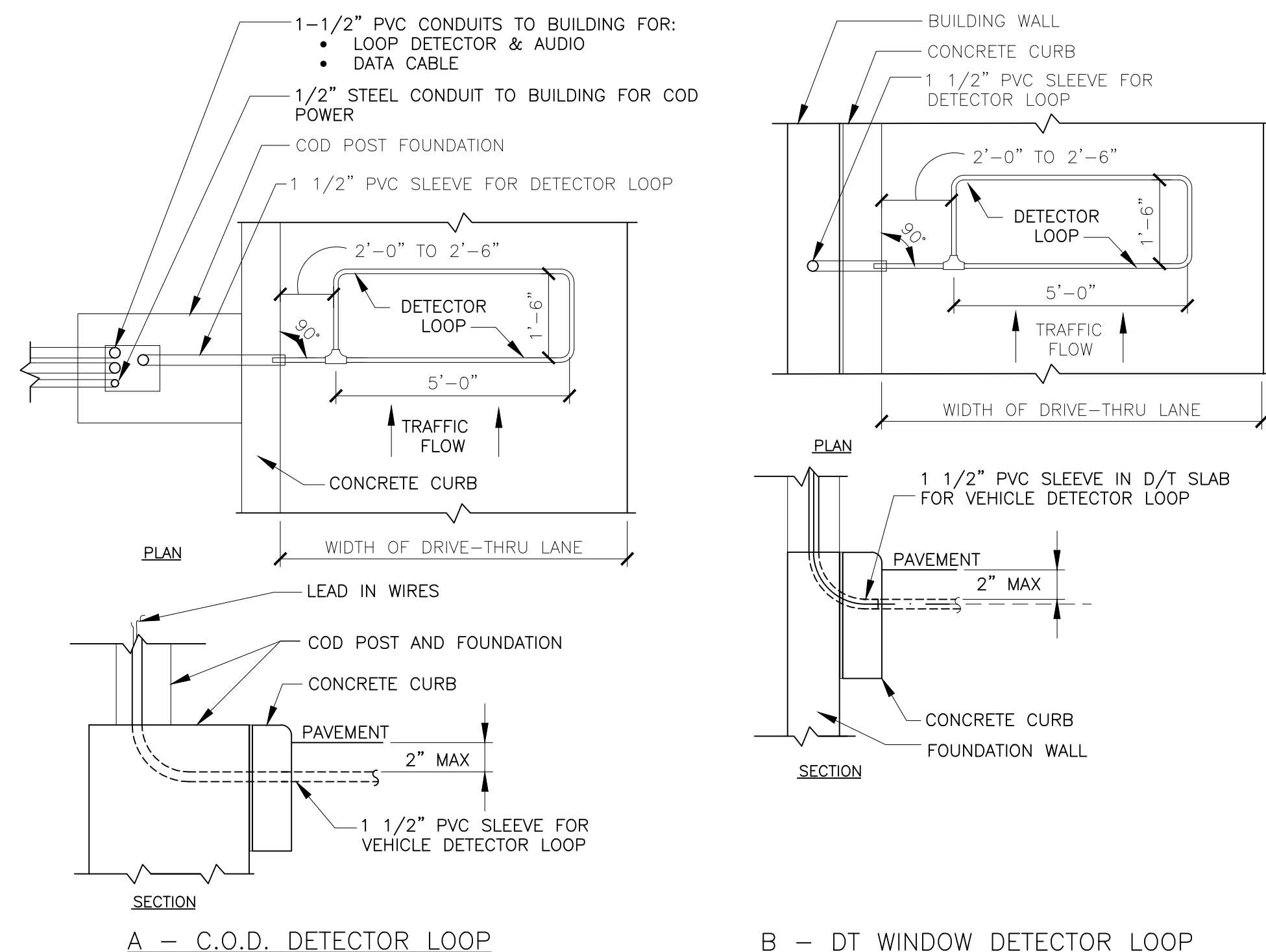
**1. SIDE BY SIDE DRIVE-THRU STANDARD 10 EQUIPMENT:**

PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15" AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE CANOPY.

PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15" AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE CANOPY (APPROXIMATELY 35°).

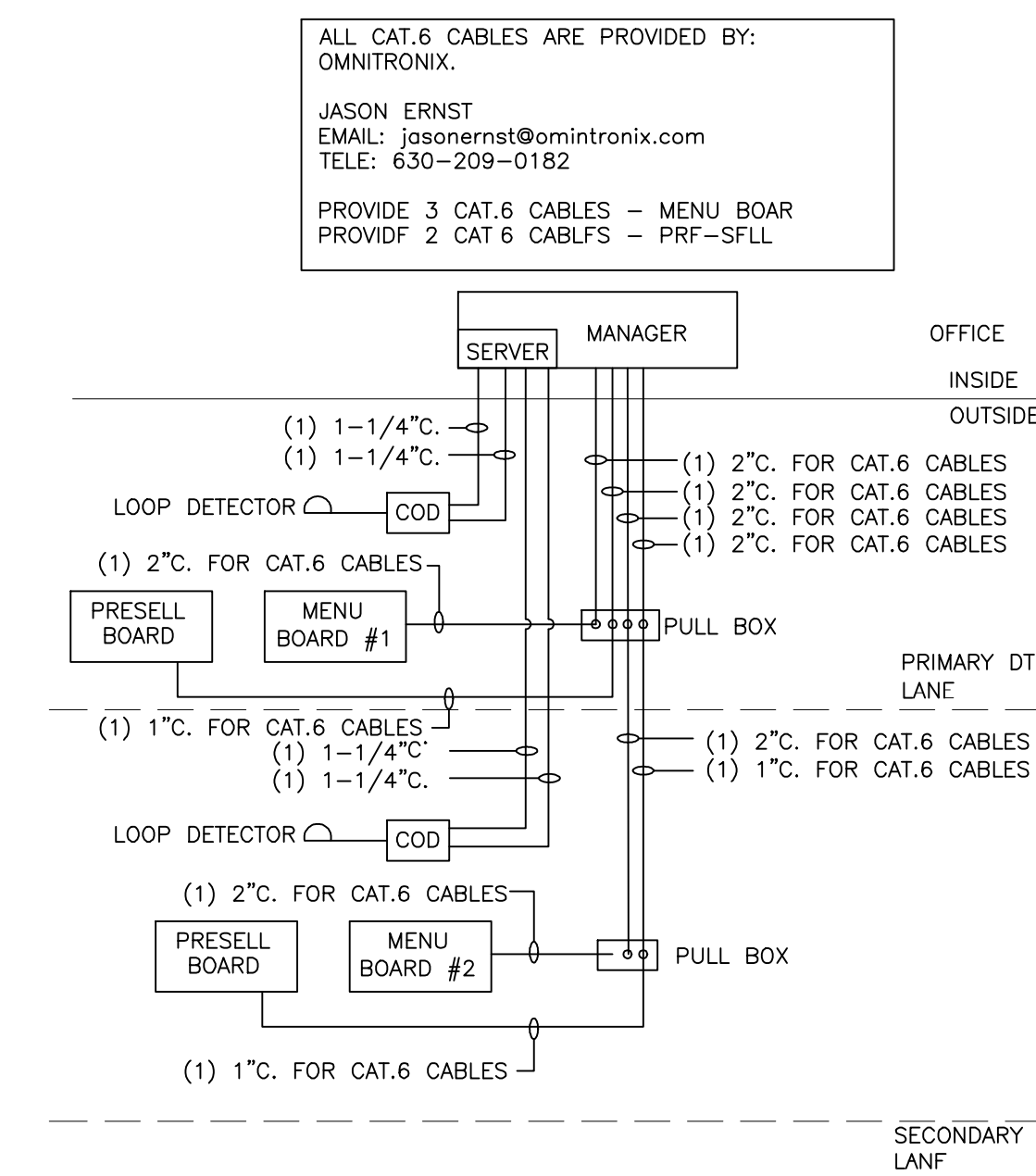
**NOTES**

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.  
3M: 1-800-328-0033  
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PITGAILED AS DETAILED.



**2 DETECTOR LOOP DETAILS**

ODMB2 NOT TO SCALE



**3 DT LOW VOLTAGE CONDUIT DIAGRAM**

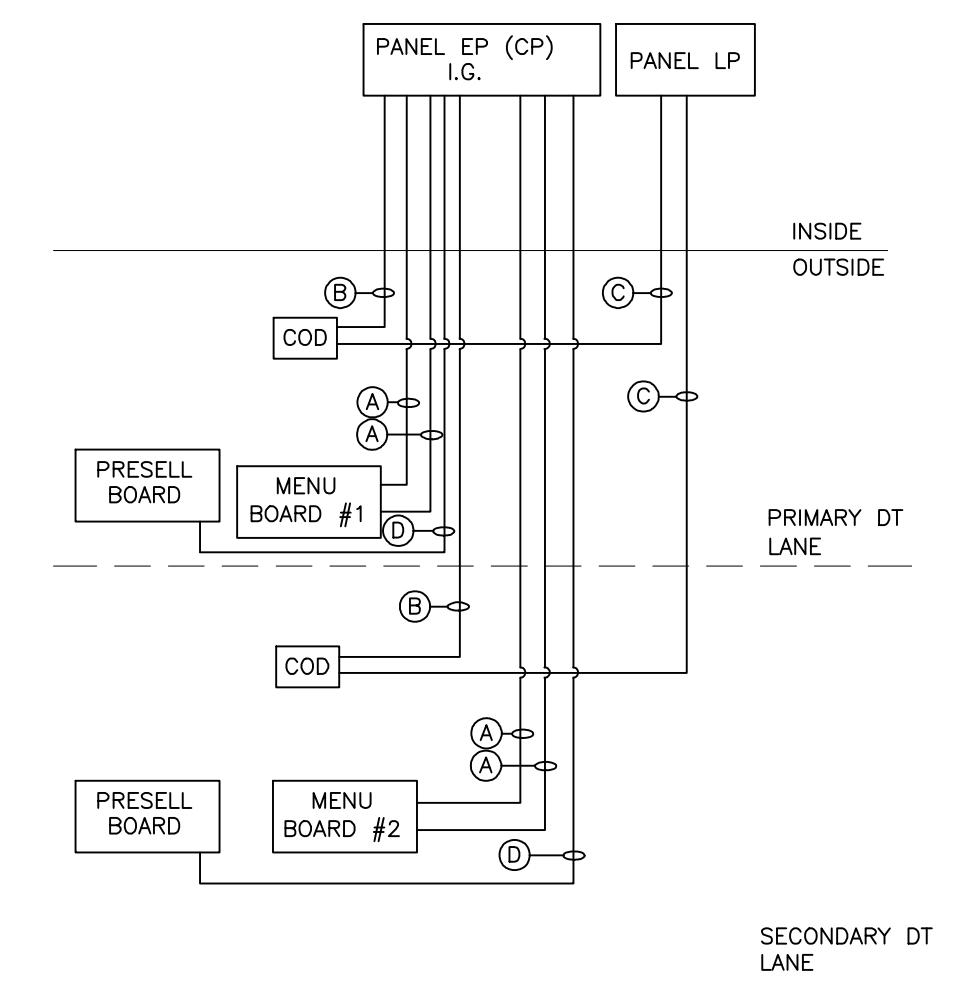
ODMB2 NOT TO SCALE

**NOTE:**

- \* VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
  - \* IF IMPLEMENTING NEW EXTERIOR DIGITAL MENUBOARDS AT AN EXISTING RESTAURANT, VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
  - \* IF IMPLEMENTING NEW EXTERIOR DIGITAL MENUBOARDS AT AN EXISTING RESTAURANT, VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.
- Legend: (A) (1) 1-1/4" 2#12, 1#12 GND & 1#12 ISOLATED GROUND TO IG PANEL 'EP/CP' FOR ISOLATED GROUND POWER TO MENUBOARD. (B) (1) 1-1/4" 2#12, 1#12 GND & 1#12 ISOLATED GROUND TO IG PANEL 'EP/CP' FOR ISOLATED GROUND POWER TO MENUBOARD. (C) (1) 1" 2#12, 1#12 GND TO PANEL 'LP' FOR POWER TO COD. (D) (1) 1-1/4" 2#12, 1#12 GND & 1#12 ISOLATED GROUND TO IG PANEL 'EP/CP' FOR ISOLATED GROUND POWER TO PRE-SELL BOARD.

**4 DRIVE THRU POWER DIAGRAM**

ODMB2 NOT TO SCALE



REV	DATE	DESCRIPTION	BY	HI
03/04/20		REVISED PER PLANNING		

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA. 95404

Seal

© 2020 McDonald's USA, LLC

**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not to be used for any other project without the written consent of McDonald's USA, LLC. These drawings are for reference only and do not constitute a contract. Reproduction of these drawings for reuse on another project is not authorized.

McDonald's # 25139  
ROSEY-BLUEOAKS/FOOTHILL

2018 BB20 - EOF

DATE ISSUED 03/04/20

SITE ADDRESS 1400 BLUE OAKS BLVD., ROSEVILLE, CA 95747

004-3821

ISSUED FOR PLANNING

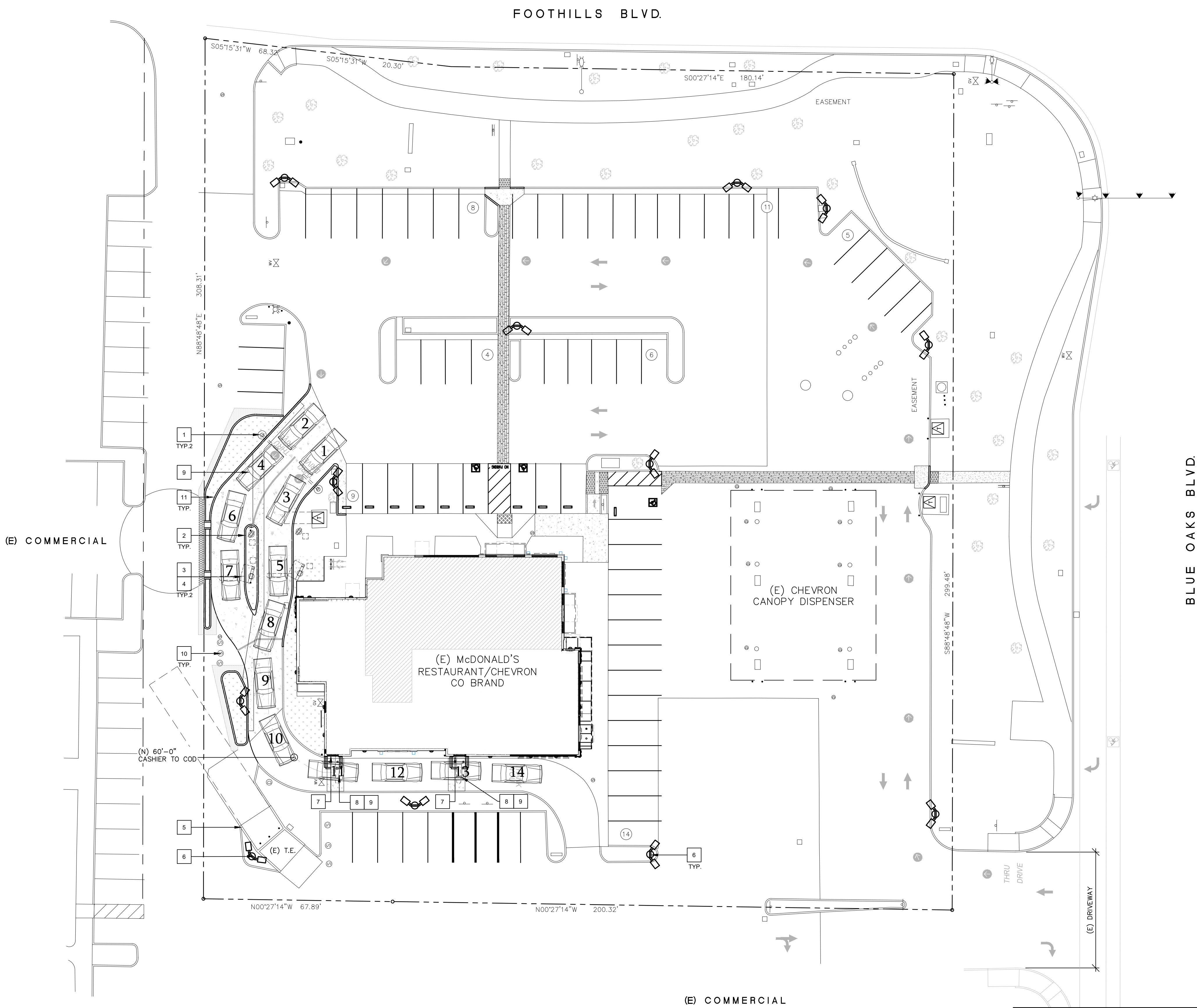
MC18243.0

DRIVE-THRU DETAILS

**ODMB-2**



M:\MCDONALD'S\_MCD 2018\MCD18243.0 MRP ROSEY BLUE 091-DRAWINGS CURRENT\ARCHITECTURAL\03-CONSTRUCTION DOCUMENTS\SITE PLAN\_EXHIBIT\_2020.03.04\MCD\_18243.0\_SPT.DWG 4/8/2020 3:03 PM HLA IBR/HHM



KEYNOTES		
MARK	DESCRIPTION	DETAIL
1	(N) VEHICLE CLEARANCE BAR. UNDER SEPARATE PERMIT. SEE SIGN PACKAGE.	-
2	(N) DIGITAL PRE-BROWSE BOARD. UNDER SEPARATE PERMIT BY OTHERS.	OMDB1 & 2 STRUCTURAL
3	(N) FORREST PERMA INFORMATIONAL SIGN #777 AT ORDER STATION.	7/CVR2
4	(N) DIGITAL MENU BOARD INTEGRATED w/ SPEAKER. UNDER SEPARATE PERMIT BY OTHERS.	OMDB1 & 2 STRUCTURAL
5	(E) TRASH ENCLOSURE TO REMAIN, PAINT TO MATCH BUILDING MAIN COLOR.	-
6	(E) YARD LIGHT w/ (N) LIGHT FIXTURES (TYP.)	E0.1
7	(N) FORREST PERMA INFORMATIONAL SIGN #778 AT PRESENTER WINDOWS.	8/CVR2
8	(N) VEHICLE DETECTOR LOOP.	E0.1
9	(N) DT CONCRETE PAVING & VEHICLE DETECTOR LOOP (TYP.)	CIVIL ELEC
10	(E) UTILITIES TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.	-
11	(N) CONCRETE FILLED BOLLARD, COLOR TO MATCH (E)	-
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		

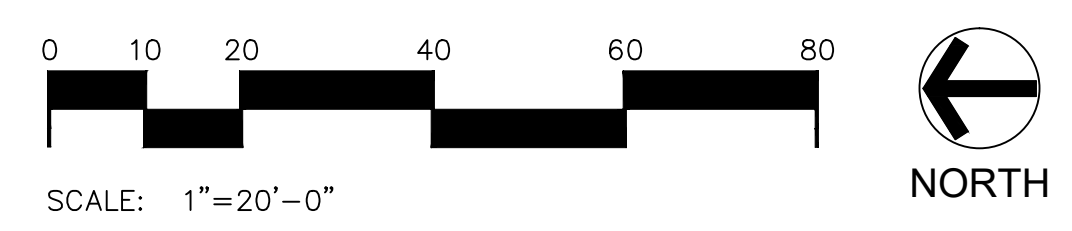
SITE DATA	
EXISTING USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
ZONING:	CC COMMERCIAL
SITE AREA:	80,849 S.F. (1.86 AC)
EXISTING OVERALL BUILDING AREA:	± 6,243 S.F.
PARKING REQUIRED:	1 STALL FOR EACH 100 SF OF GROSS FLOOR AREA EXISTING 72 STALLS TO REMAIN (NO CHANGE)

ASSESSOR'S PARCEL NUMBER: 017-250-052

PARKING INFORMATION (PROPOSED)			
TOTAL SPACES	ACCESSIBLE	3 SPACES	9' X 18' & 19' @ 90°
71	STANDARD	64 SPACES	9' X 18' & 19' @ 90°
	COMPACT	4 SPACES	8' X 16' @ 90°

PLAN LEGEND			
CL	= CENTER LINE	P.O.C.	= POINT OF CURVATURE
COL	= COLUMN	R	= RADIUS
(E)	= EXISTING	R.O.W.	= RIGHT OF WAY
EQ	= EQUAL	SHT.	= SHEET
F.O.C.	= FACE OF CURB	SIM.	= SIMILAR
F.O.S.	= FACE OF STUD	TYP.	= TYPICAL
F.O.F.	= FACE OF FOUNDATION	FSE	= FINISH SLAB ELEVATION
(N)	= NEW		
---	.....	(E)	CONCRETE CURB
---	---		PROPERTY LINE
---	---		EASEMENT
---	---		ACCESSIBLE PATH OF TRAVEL
---	---	(N)	CONCRETE CURB
---	---	(N)	CONCRETE PAVING
---	---	(N)	SIDEWALK / WALKWAY
---	---	(N)	ASPHALT PAVING
---	---	(N)	PAVEMENT ARROWS (PAINTED WHITE)
---	---	(N)	DRIVE THRU STRIPING (PAINTED YELLOW)

- GENERAL NOTES**
- SURFACE OF RAMP AND FLARES SHALL BE SLIP RESISTANT AND CONTRASTING FINISH FROM SIDEWALK.
  - RAMP SHALL LIE IN SINGLE SLOPE PLANE W/ MIN. SURFACE WARPING AND CROSS SLOPE.
  - RAMP LANDING SHALL HAVE A CROSS SLOPE OF 2% MAX. IN ALL DIRECTIONS.
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING STALLS & ACCESSIBLE AISLE TO BE 2% IN ANY DIRECTION.
  - ALL PARKING LOT IMPROVEMENTS SHALL MATCH SURROUNDING EXISTING GRADES.
  - FOR ADDITIONAL INFORMATION REGARDING DRAINAGE & GRADING, CONCRETE CURB, SIDEWALKS & GUTTER DETAILS, SEE CIVIL DRAWINGS.



1 SITE PLAN  
SP1 1" = 20'-0"

BY	DESCRIPTION	DATE	ISSUED FOR CONSTRUCTION
		03/20/20	ISSUED FOR CONSTRUCTION

Professional of Record:

**PM DESIGN**  
Architectural Solutions Group  
2455 Bennett Valley Rd.  
Suite C-102  
Santa Rosa, CA, 95404

STATE OF CALIFORNIA  
KENNETH MCCrackEN  
C-32095  
08/09/19  
LICENSED ARCHITECT

Seal  
KJM/2288

PREPARED FOR:  
**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not to be used for any other project without the written consent of McDonald's USA, LLC. Reproduction of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

McDONALD'S # 25139  
ROSEY-BLUEOAKS/FOOTHILL

DESCRIPTION  
2018 BB20 - EOF

DATE ISSUED  
03/19/20

SITE ADDRESS  
1400 BLUE OAKS BLVD. ROSEVILLE, CA 95747

SHEET NO:  
**SP1**  
SITE PLAN

MCD18243.0 ISSUED FOR CONSTRUCTION